

TEMPEST, INC.

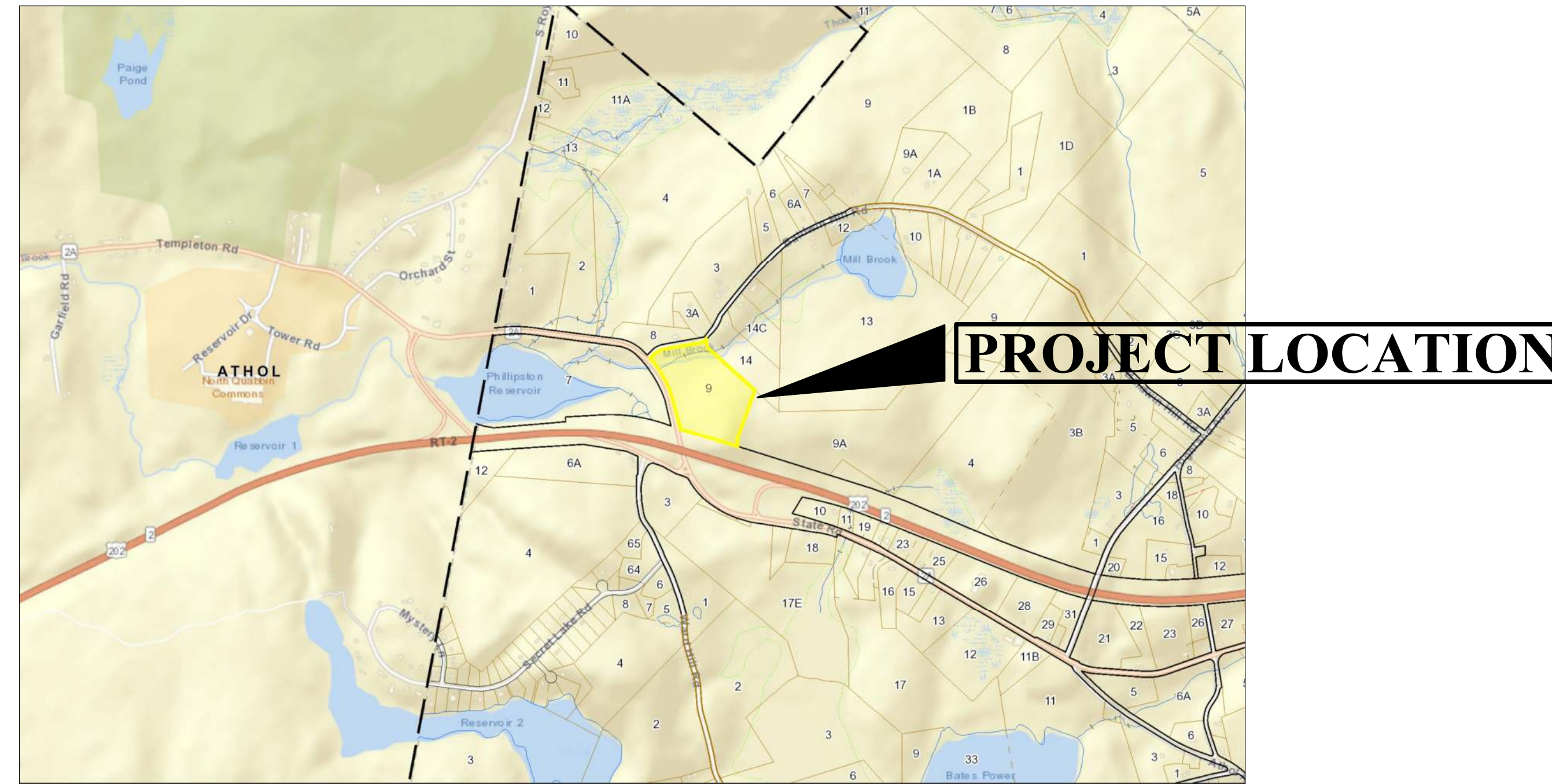
RECREATIONAL MARIJUANA RETAIL ESTABLISHMENT

SITE PLAN

420 STATE ROUTE 2A, PHILLIPSTON, MA

INDEX

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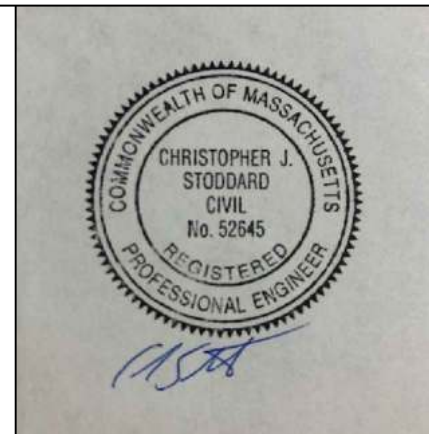
LOCUS MAP
1" = 1200'

PREPARED FOR

TEMPEST, INC.
160 SOUTH ROYALSTON
ROYALSTON, MA 01368

PREPARED BY

STODDARD ENGINEERING
1863 OLD KEENE ROAD
ATHOL, MA 01331



Project:

TEMPEST INC.
RMRE SITE PLAN
420 STATE ROUTE 2A
PHILLIPSTON, MA

STODDARD ENGINEERING
1863 OLD KEENE ROAD
ATHOL, MASSACHUSETTS 01331
978.790.9731

Rev No	Revision Note	Date	By	Checked

Drawing:

TITLE PAGE

ZONING REQUIREMENTS:

ZONING = C1

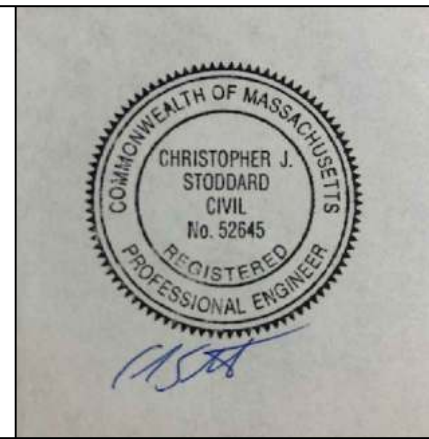
	REQUIRED	PROVIDED
MINIMUM LOT SIZE	40,000 FT ²	871,000 FT ²
MINIMUM LOT FRONTAGE	125'	1472'
MINIMUM SETBACK FRONT	35'	84'
MINIMUM SETBACK SIDE	20'	355'
MINIMUM SETBACK REAR	35'	547'
MAXIMUM LOT COVERAGE IN FT ² (%)	40%	3%
HEIGHT IN FEET FROM GROUND	50'	24'

Designed by CJS	Drawn by CJS	Checked by ---
Date 6/22/2020	Sheet 1	Scale

1. PROPERTY LINE INFORMATION BASED DEEDS AND PLANS OF RECORD. NO CERTIFICATION OF PROPERTY LINES SHOWN ON THIS PLAN IS INTENDED OR IMPLIED BY STODDARD ENGINEERING.
2. THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE INTENDED ONLY TO ADVISE THE CONTRACTOR OF THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING THE ACTUAL LOCATIONS OF ALL EXISTING UTILITIES, INCLUDING SERVICES. CALL "DIG SAFE" (1-888-344-7233) FOR FIELD LOCATIONS ALL EXISTING UTILITIES.
3. THE CONTRACTOR SHALL MAKE EVERY EFFORT NOT TO DISTURB THE EXISTING UTILITIES.
4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF ATHOL PLANNING BOARD SUBDIVISION REGULATIONS AND ALL CONDITIONS PLACED ON THE PROJECT. ALL EXCAVATION AND RESTORATION SHALL MEET TOWN SPECIFICATIONS.
5. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN ON-THE-GROUND TOPOGRAPHIC SURVEY BY ALFRED BERRY, P.L.S. IN JUNE 2020. DATUM FOR THIS SURVEY IS NAVD88 VERTICAL DATUM AND MASSACHUSETTS STATE PLANE COORDINATES HORIZONTAL DATUM. SEE PLANS FOR PROJECT BENCHMARK.
6. REFER TO PLANS FOR ACTUAL DISTANCES FROM EXISTING GROUND FEATURES.
7. WETLANDS SHOWN WERE DELINEATED BY CARON ENVIRONMENTAL CONSULTING, LLC. IN JUNE 2020
8. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING & GRUBBING TREES WHERE THEY CONFLICT WITH THE PROPOSED DRAINAGE INSTALLATION.
9. AS APPROPRIATE, CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES, INCLUDING HAND DIGGING, TO MAINTAIN THE INTEGRITY OF THE EXISTING UTILITIES.
10. LOCATION OF EXISTING DRAINAGE IS APPROXIMATE AND SHOULD BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF EROSION. ALL DISTURBED EARTH SURFACES ARE TO BE STABILIZED IN THE SHORTEST PRACTICAL TIME AND TEMPORARY EROSION CONTROL DEVICES SHALL BE EMPLOYED UNTIL SUCH TIME AS ADEQUATE SOIL STABILIZATION HAS BEEN ACHIEVED. TEMPORARY STORAGE OF EXCAVATED MATERIAL IS TO BE IN A MANNER THAT WILL MINIMIZE EROSION. THE CONTRACTOR SHALL DISPOSE OF UNSUITABLE EXCAVATED MATERIAL AT A SITE PROVIDED BY HIM WHICH IS IN COMPLIANCE WITH ALL STATE AND LOCAL LAWS.
12. CONTRACTOR SHALL NOT TRACK OR SPILL EARTH AND DEBRIS ON PUBLIC STREETS OUTSIDE THE PROJECT AREA. STREETS OPENED TO THE PUBLIC SHALL BE KEPT SWEEPED AND FREE OF DEBRIS.
13. THE CONTRACTOR SHALL MAINTAIN RECORDS OF THE ACTUAL AS-BUILT LOCATIONS AND DIMENSIONS OF THE WORK.
14. ALL PIPE LINES SHALL SLOPE UNIFORMLY BETWEEN ELEVATIONS INDICATE ON THE DRAWINGS. NO CRESTS OR SAGS IN PIPING WILL BE PERMITTED.
15. THE PROPOSED CATCH BASINS AND DRAIN MANHOLES ARE TO BE FIELD VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOWERING OR RAISING ALL STRUCTURES TO THE PROPOSED GRADE.
16. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL CONFLICTS BETWEEN THE EXISTING UTILITIES AND PROPOSED WORK. THE ENGINEER RESERVES THE THE RIGHT TO MODIFY THE DESIGN TO REALIGN PIPING AND STRUCTURE LOCATIONS AND INVERTS TO SUIT ACTUAL FIELD CONDITIONS.
17. AREAS OF FILL TO BE COMPACTED TO A MINIMUM 95% DRY DENSITY IN AREAS WITHIN PAVEMENT AND UTILITIES. OTHER AREAS OF FILL TO BE COMPACTED TO A MINIMUM OF 90% DRY DENSITY. ALL FILL MATERIALS ARE TO BE CLEAN FILL, FREE OF DELETERIOUS MATERIALS AND DEBRIS.
18. ALL UTILITIES TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR LICENSED BY THE TOWN OF PHILLIPSTON.
19. THE CONTRACTOR IS FORBIDDEN FROM THE USE OF FILL CONTAINING HAZARDOUS MATERIALS.
20. THE CONTRACTOR IS REQUIRED TO MARK THE LIMITS OF WORK IN THE FIELD BEFORE THE START OF CONSTRUCTION OR SITE CLEARING.
21. THE PROPERTY OWNER IS REQUIRED TO CLEAN THE CATCH BASINS, SUMPS AND STORMWATER BASINS FOLLOWING CONSTRUCTION AND ANNUALLY THEREAFTER.
22. HAULING OF EARTH TO AND FROM THE SITE SHALL BE RESTRICTED TO THE HOURS OF 7 A.M. AND 5 P.M. ON WEEKDAYS IF EARTH MATERIALS ARE TO BE REMOVED FROM OR BROUGHT TO THE SITE.
23. THE PARKING LOT CONSTRUCTION SHALL CONSIST OF PLACING 12" MIN. OF GRAVEL PLACED AND COMPACTED. THE PARKING LOT WILL CONSIST OF 3" OF BITUMINOUS CONCRETE PLACED IN TWO LIFTS (1.5" EACH).
24. THE SIDEWALK CONSTRUCTION SHALL CONSIST F PLACING 12" MIN. OF GRAVEL PLACED AND COMPACTED. THE SIDEWALK WILL CONSIST OF 4" OF POURED CONCRETE.

ABBREVIATIONS

MHD MASS HIGHWAY BOUND	OS OUTLET STRUCTURE
BOC BOTTOM OF CURB	EOP EDGE OF PAVEMENT
DI DUCTILE IRON	CB CATCH BASIN
INV INVERT	DMH DRAIN MANHOLE
FOC FACE OF CURB	FES FLARED END SECTION



Project:

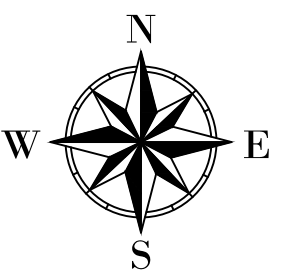
TEMPEST INC.
RMRE SITE PLAN
420 STATE ROUTE 2A
PHILLIPSTON, MA

STODDARD ENGINEERING
1865 OLD KEENE ROAD
ATHOL, MASSACHUSETTS 01331
978.790.9751

Rev No	Revision Note	Date	By	Checked

Drawing:

GENERAL NOTES



MASSACHUSETTS STATE PLANE COORDINATE SYSTEM
VERTICAL DATUM: NAVD 88

Designed by CJS	Drawn by CJS	Checked by ---
Date 6/22/2020	Sheet 2	Scale



ASSESSORS PARCEL ID: 38-3A
NF
PETER M. & KRISTIN M.
STANLEY
BOOK 41124, PAGE 197

ASSESSORS PARCEL ID: 37-B
NF
LEO E. O'KEEFE
BOOK 5582, PAGE 437

ASSESSORS PARCEL ID: 39-14
NF
LISA MOORE
BOOK 12842, PAGE 191

ASSESSORS PARCEL ID: 37-7
NF
LYNN ANN & DAVID JOHN
OSKI
BOOK 61944, PAGE 243

ASSESSORS PARCEL ID: 37-3
NF
TOWN OF ATHOL
BOOK 2569, PAGE 326
(SOUTH SIDE OF ROUTE 2)

FOR REGISTRY USE ONLY

LEGEND

- DH1 DRILL HOLE
- IP IRON PIPE
- REBAR OR IRON ROD
- STONE OR CONCRETE BOUND
- STONE WALL

REFERENCE PLANS

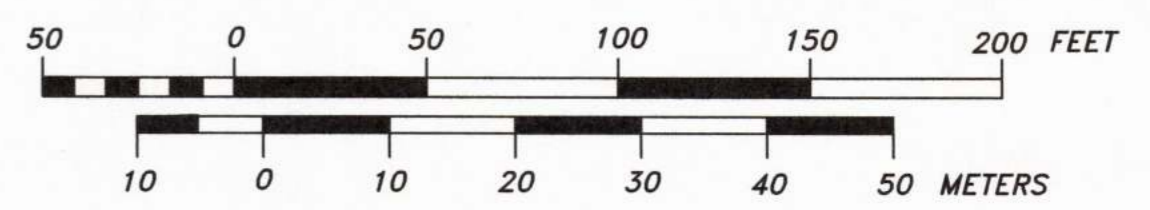
- 1.) PLAN BOOK 239, PLAN 76.
- 2.) PLAN BOOK 577, PLAN 12.
- 3.) PLAN BOOK 567, PLAN 122.

NOTES:

- 1.) ELEVATIONS SHOWN ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- 2.) WETLANDS WERE FLAGGED BY CARON ENVIRONMENTAL CONSULTING.
- 3.) THERE ARE NO KNOWN ACCESS AND UTILITY EASEMENTS AFFECTING LOCUS.
- 4.) THERE ARE NO EXISTING STRUCTURES ON LOCUS.
- 5.) LOCUS LIES COMPLETELY WITHIN THE COMMERCIAL-INDUSTRIAL (C-1) ZONING DISTRICT. ZONING DISTRICT BOUNDARIES ARE WELL BEYOND LOCUS. (SEE THE TOWN OF PHILLIPSTON ZONING MAP).

ZONING INFORMATION

DISTRICT: C-1
 MINIMUM AREA: 40,000 SQ. FT.
 MINIMUM FRONTAGE: 125'
 MINIMUM DEPTH: 110'
 MINIMUM FRONT YARD: 50'
 MINIMUM SIDE YARD: 20'
 MINIMUM REAR YARD: 35'
 MAXIMUM BUILDING COVERAGE: 40%
 MAXIMUM HEIGHT: 50'



LOCUS REFERENCE

BLAST-TECH INC.
 BOOK 55631, PAGE 114
 ASSESSORS PARCEL ID: 37-9

Existing Conditions

Plan of Land
 in
 Phillipston, Massachusetts
 Owned By
 Blast-Tech, Inc

ALFRED M. BERRY, P.L.S.

129 South Main Street, PO Box 188
 ATHOL, MA 01331
 (508) 277-1161

AMB PROJECT MGR

AMB DRAWN BY

DATE:	6/2/2020
JOB NO:	2020-075
SCALE:	1" = 50'
DWG NAME:	PHILLIPSTON-BALDWIN HILL RD
PLAN NO:	
SHEET:	1 OF 1

CERTIFICATIONS

I CERTIFY THAT THIS PLAN SHOWS THE PROPERTY LINES THAT ARE THE LINES OF EXISTING OWNERSHIPS, AND THE LINES OF STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

FURTHERMORE, I CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Alfred M. Berry
 PROFESSIONAL LAND SURVEYOR

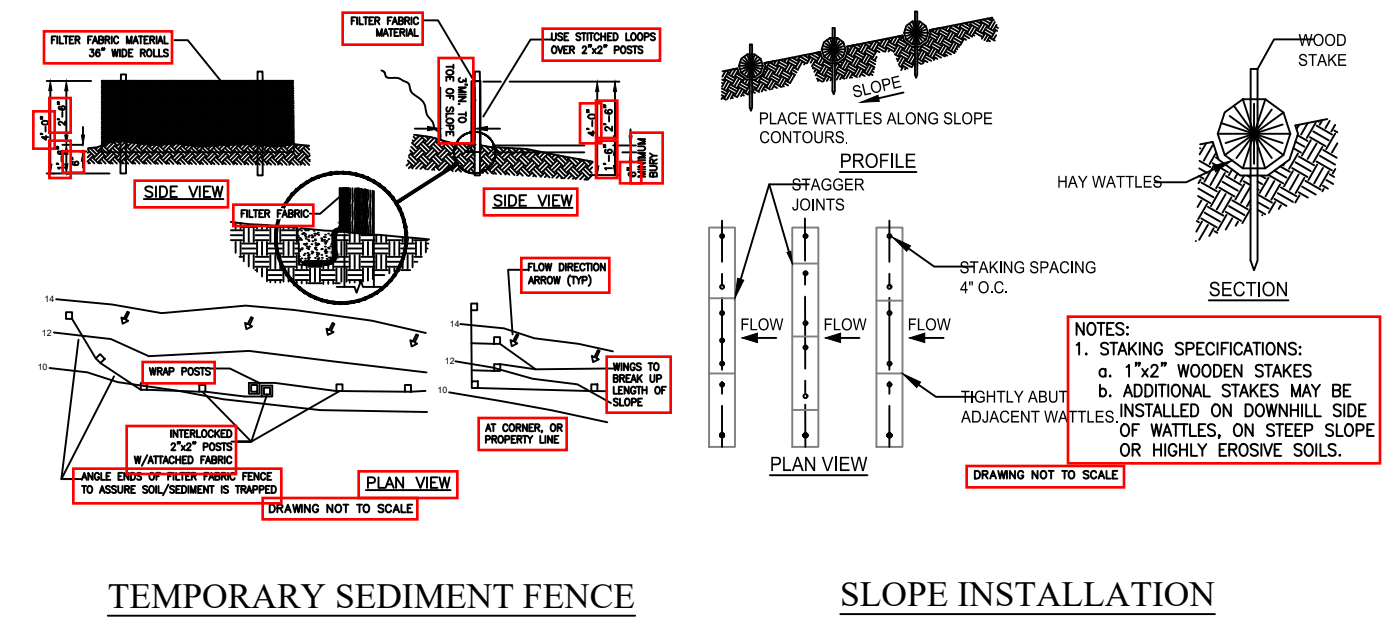
DATE 6/24/2020



17.18 ACRES±

ASSESSORS PARCEL ID: 39-9A
 (UNKNOWN OWNERSHIP ACCORDING TO TOWN OF PHILLIPSTON ASSESSORS DATA)

Route 2
 1957 ALTERATION



LIS BK.



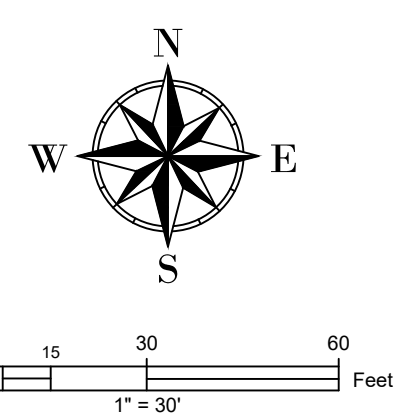
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Drawing:
EROSIN CONTROL



MASSACHUSETTS STATE PLANE COORDINATE SYSTEM
VERTICAL DATUM: NAVD 88

Designed by CJS	Drawn by CJS	Checked by ---
Date 6/22/2020	Sheet 4	Scale



LIS BK.



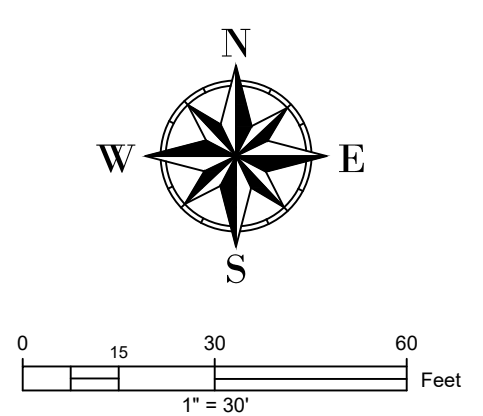
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Drawing:
LAYOUT



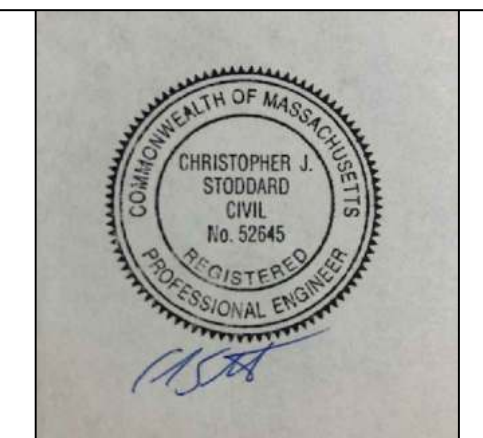
MASSACHUSETTS STATE PLANE COORDINATE SYSTEM
VERTICAL DATUM: NAVD 88

Designed by CJS	Drawn by CJS	Checked by ---
Date 6/22/2020	Sheet 5	Scale



EARTH REMOVAL:
CUTS (YD³) **FILL (YD³)**
 23,252.96 5,000

LIS
BK.

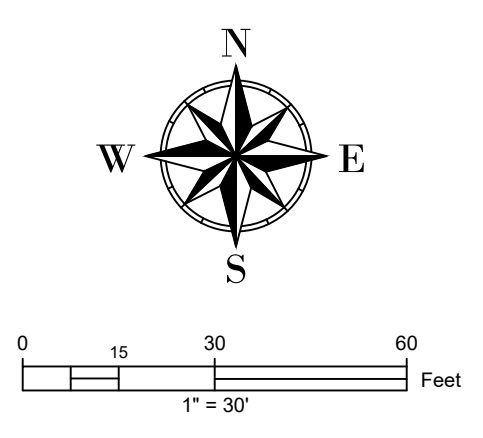


Project:
 TEMPEST INC.
 RMRE SITE PLAN
 420 STATE ROUTE 2A
 PHILLIPSTON, MA

STODDARD ENGINEERING
 1865 OLD KEENE ROAD
 ATHOL, MASSACHUSETTS 01331
 978.7909731

Rev No	Revision Note	Date	By	Checked

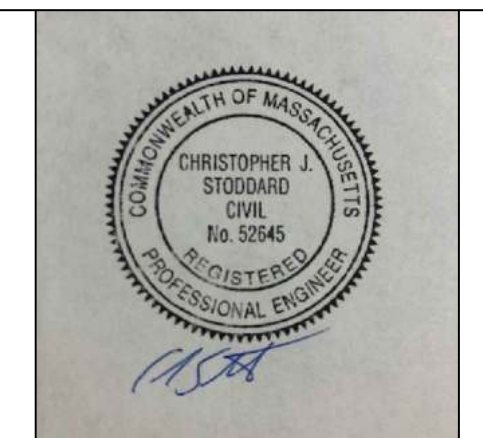
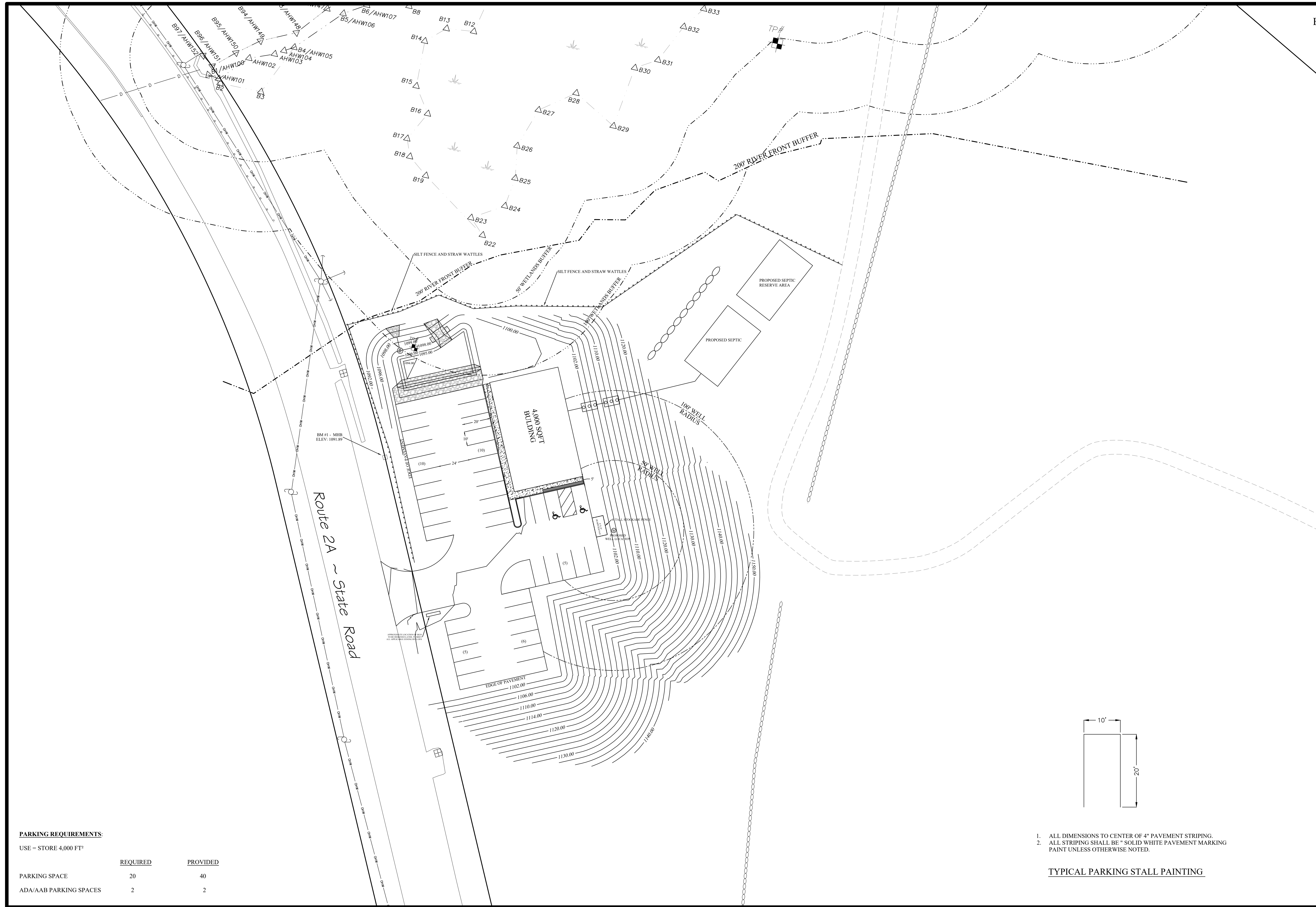
Drawing:
 GRADING AND
 DRAINAGE PLAN



MASSACHUSETTS STATE PLANE COORDINATE SYSTEM
 VERTICAL DATUM: NAVD 88

Designed by CJS	Drawn by CJS	Checked by ---
Date 6/22/2020	Sheet 6	Scale

LIS
BK.

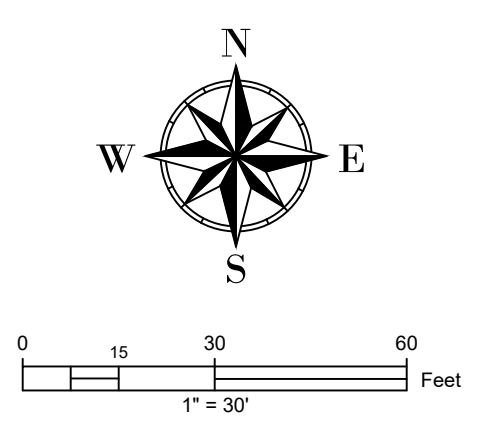


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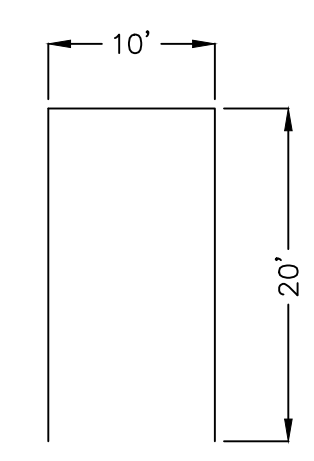
Rev No	Revision Note	Date	By	Checked

Drawing:
LINE STRIPING



MASSACHUSETTS STATE PLANE COORDINATE SYSTEM
VERTICAL DATUM: NAVD 88

Designed by CJS	Drawn by CJS	Checked by ---
Date 6/22/2020	Sheet 7	Scale

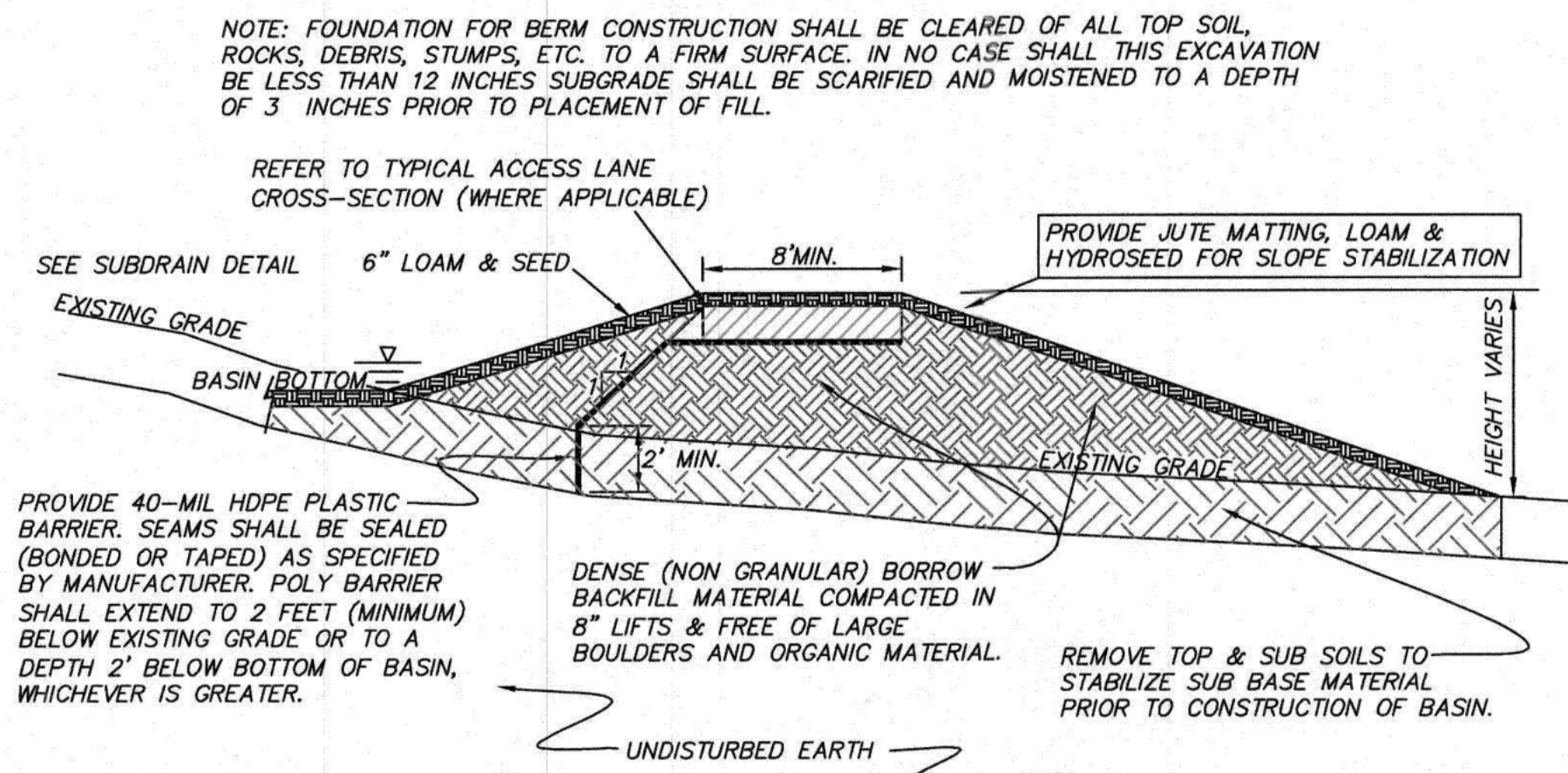


1. ALL DIMENSIONS TO CENTER OF 4" PAVEMENT STRIPING.
2. ALL STRIPING SHALL BE " SOLID WHITE PAVEMENT MARKING PAINT UNLESS OTHERWISE NOTED.

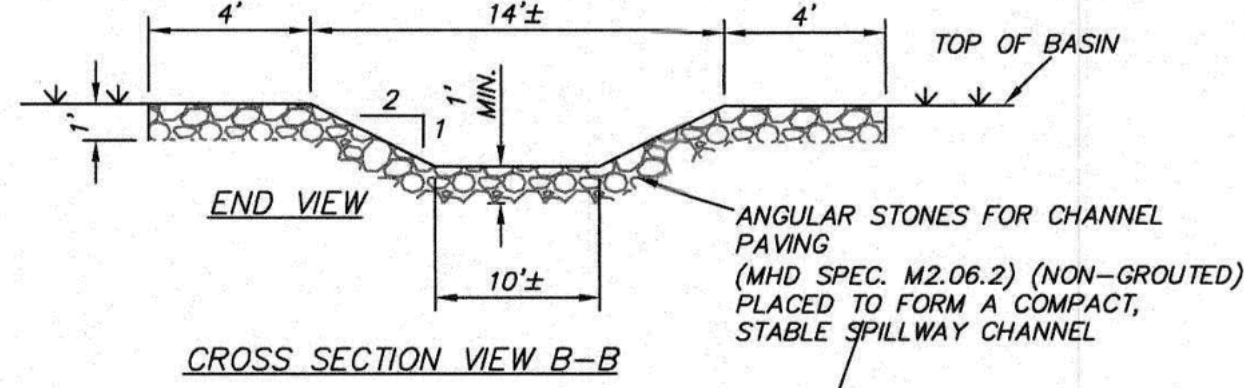
TYPICAL PARKING STALL PAINTING

PARKING REQUIREMENTS:
USE = STORE 4,000 FT²

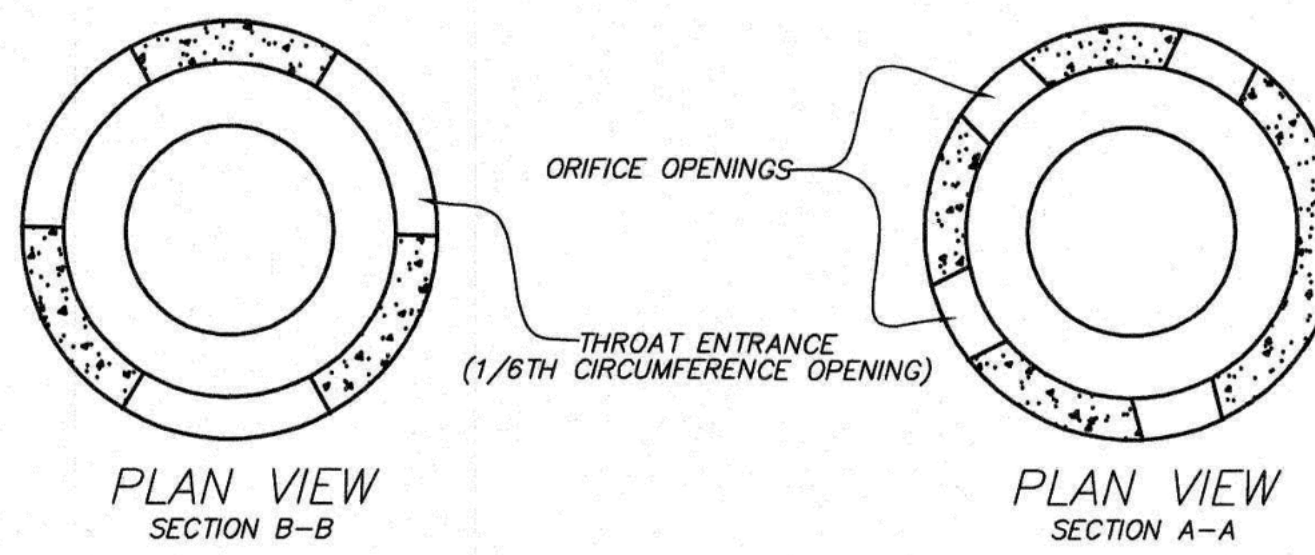
	REQUIRED	PROVIDED
PARKING SPACE	20	40
ADA/AAB PARKING SPACES	2	2



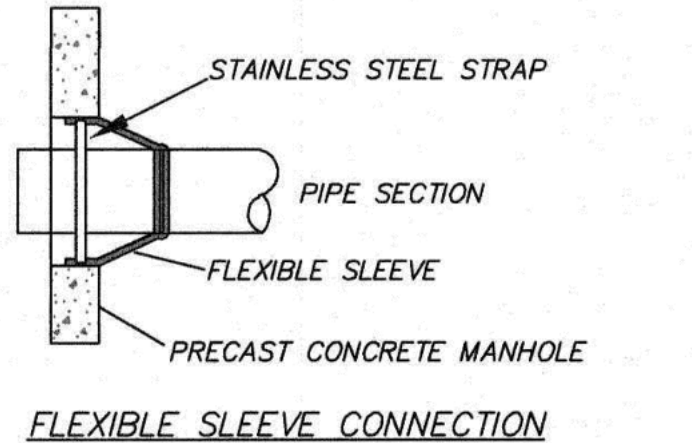
DETENTION BASIN BERM
(REQUIRED FOR DETENTION BASIN CONSTRUCTION)



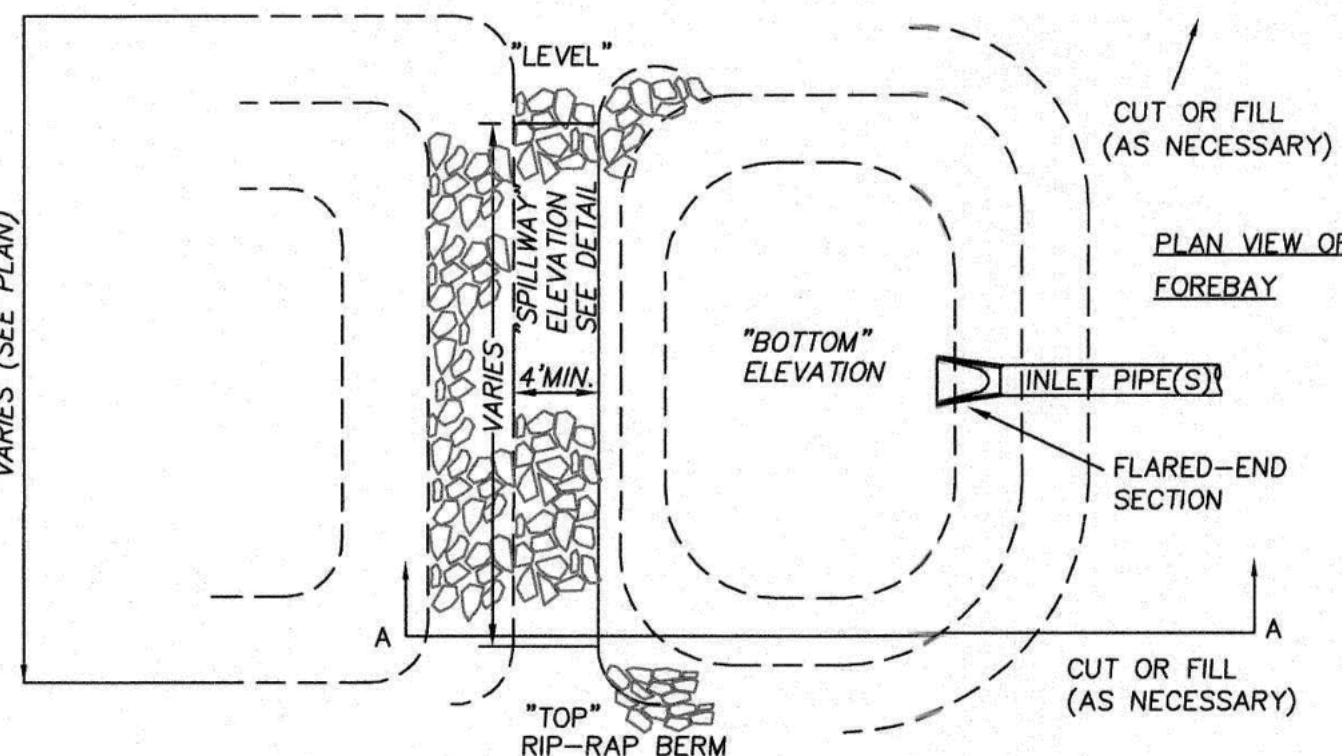
EMERGENCY SPILLWAY DETAIL
NO SCALE



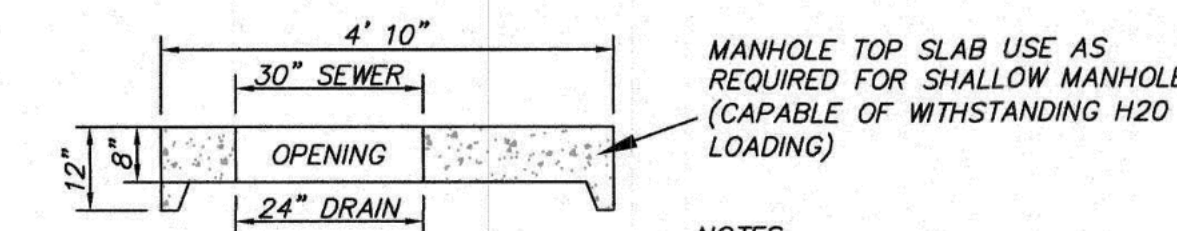
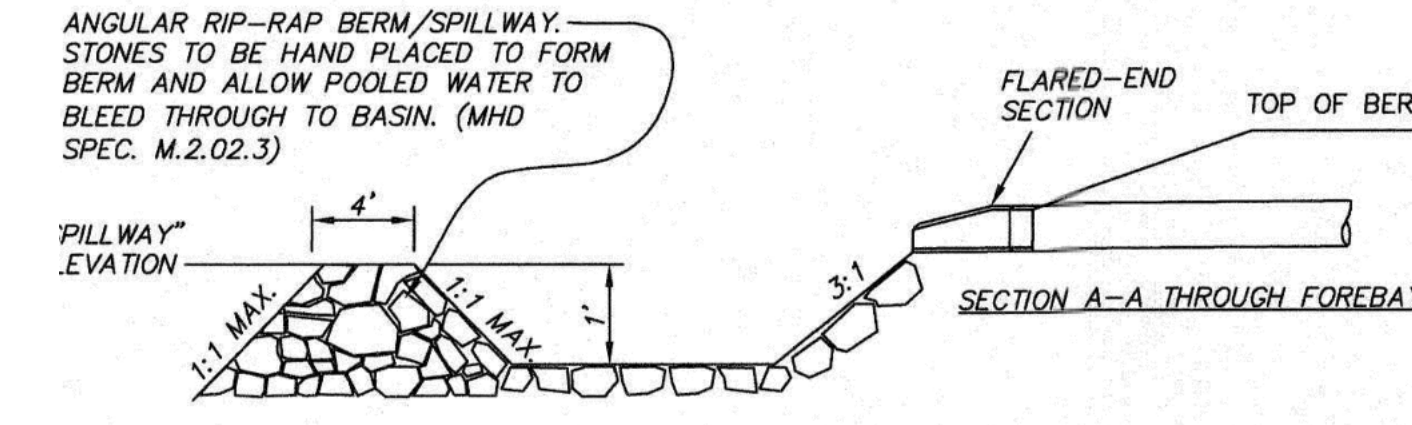
D-BASIN OUTLET STRUCTURE
WITH 1/8TH CIRCUMFERENCE THROAT OPENINGS
NO SCALE



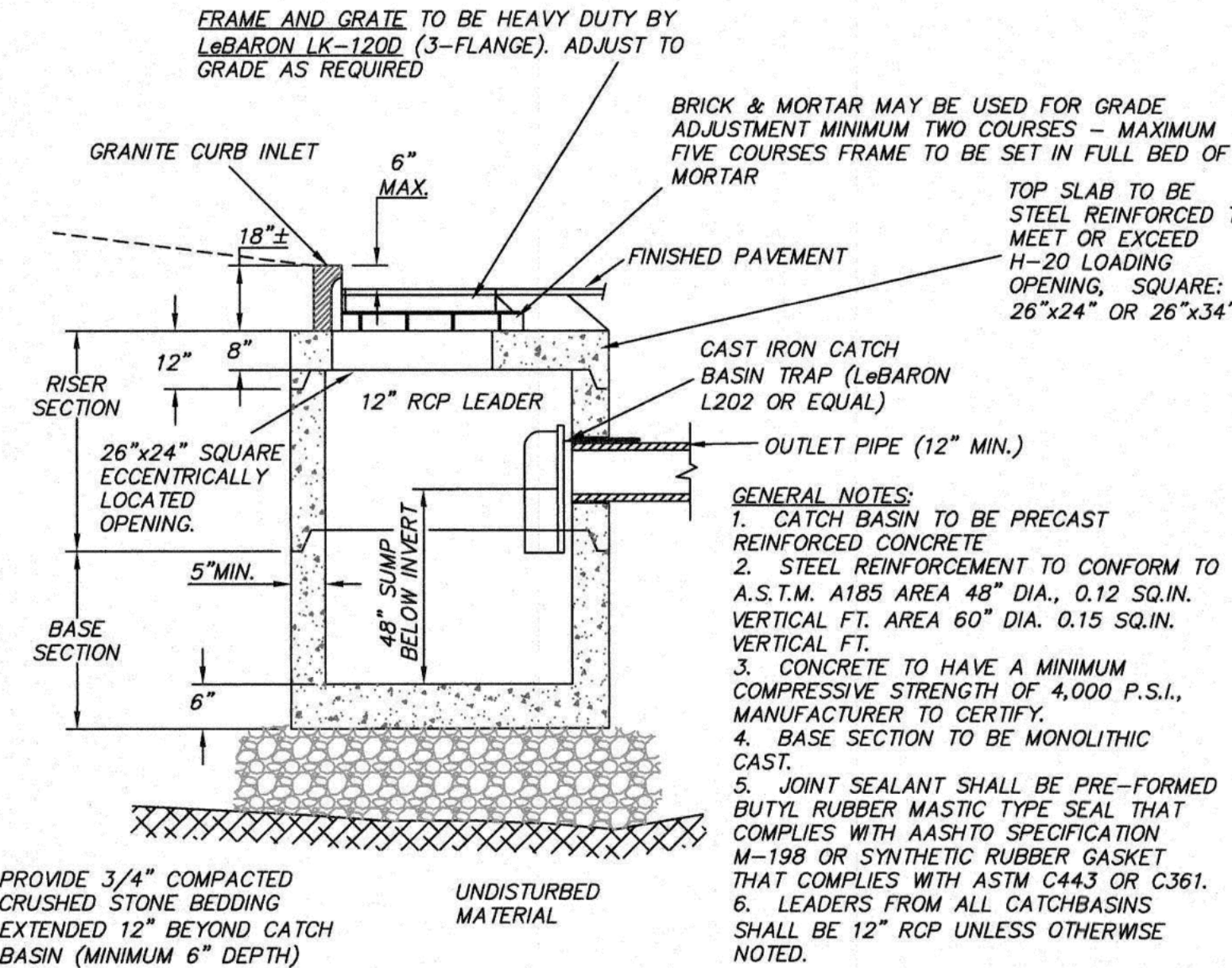
MANHOLE CONNECTION DETAIL
NO SCALE



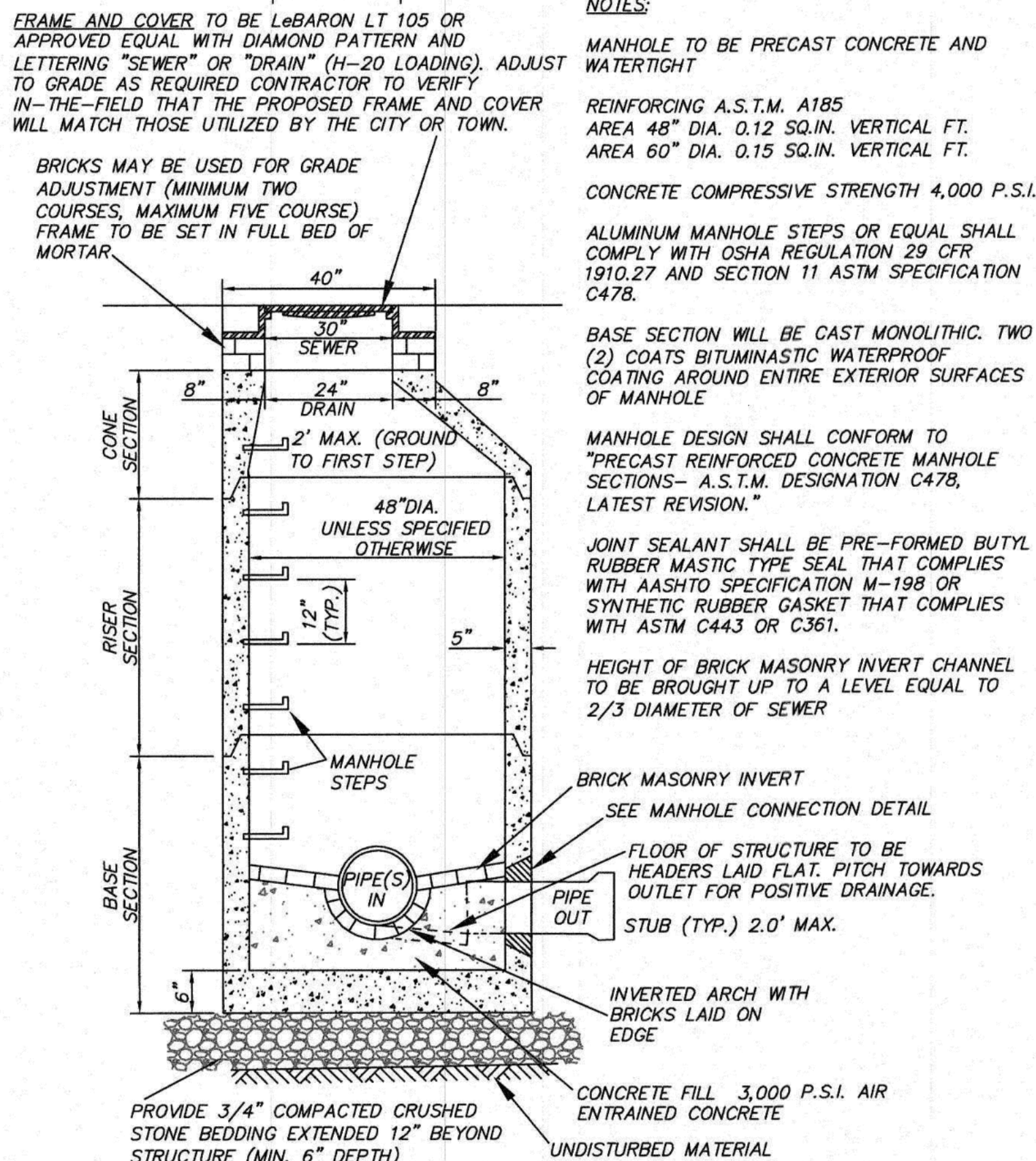
FOREBAY DETAIL
(NO SCALE)
(SEE PLAN FOR ACTUAL CONFIGURATION)



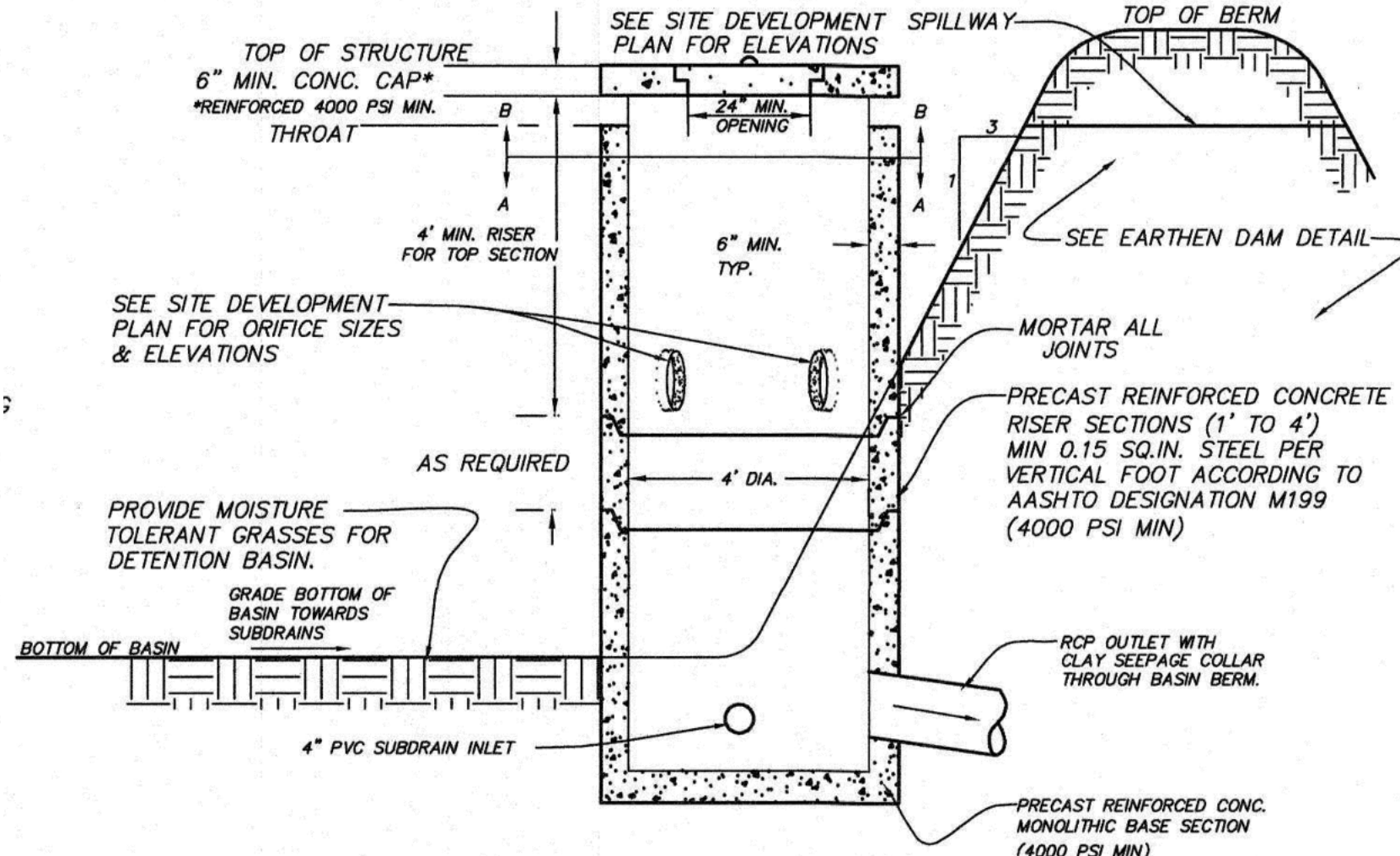
TYPICAL PRECAST MANHOLE
(FOR MANHOLES LESS THAN 12\"/>



TYPICAL PRECAST CATCH BASIN
WITH GRANITE CURB INLET
NO SCALE



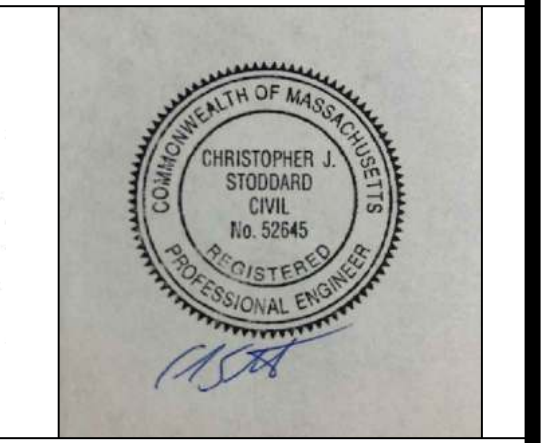
TYPICAL PRECAST MANHOLE
(FOR MANHOLES LESS THAN 12\"/>



D-BASIN OUTLET STRUCTURE
WITH 1/8TH CIRCUMFERENCE THROAT OPENINGS
NO SCALE

EROSION AND SEDIMENTATION CONTROL PLAN

- GENERAL**
- THE PURPOSE OF THIS PLAN IS TO PRESENT A PREVENTIVE METHOD OF CONSTRUCTION TO MINIMIZE THE IMPACT OF THE CONSTRUCTION ACTIVITIES UPON WETLAND AND OTHER SENSITIVE AREAS. THE DATA CONTAINED ON THIS PLAN IS INTENDED TO SUPPLEMENT THE DEVELOPER OR CONTRACTOR'S EXPERTISE AND IS NOT MEANT TO CIRCUMVENT LOGICAL DECISIONS REQUIRED BY A VARIETY OF FIELD CONDITIONS INCLUDING WEATHER AND THE TYPE OF EQUIPMENT AVAILABLE.
 - THE CONTRACTOR IS TO BE AWARE OF THE REQUIREMENTS AND OBLIGATIONS TO COMPLY WITH CHAPTER 31, SECTION 40 OF THE MASSACHUSETTS GENERAL LAWS, OTHERWISE KNOWN AS THE WETLANDS PROTECTION ACT, AND ITS ASSOCIATED REGULATIONS (310 CMR 10.00). CERTAIN PERMITS IN THE FORM OF AN ORDER OF CONDITIONS, OR OTHER FORMAT, MAY BE REQUIRED FOR THE CONSTRUCTION AS DEPICTED ON THIS PLAN. THESE PERMITS SHALL BE REVIEWED AND ADHERED TO BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL ALSO MAINTAIN COPIES OF ALL PERMITS ON SITE AT ALL TIMES.
 - IF CHANGES IN THE PROJECT ARE REQUIRED DUE TO FIELD CONDITIONS THE DEVELOPER/CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER FOR REVIEW OF THESE CONDITIONS. UPON REVIEW, AND PRIOR TO IMPLEMENTATION OF ANY CHANGES, THE CONTRACTOR AND ENGINEER SHALL MEET WITH THE APPROPRIATE LOCAL AND/OR STATE OFFICIAL, OR ITS AGENT, TO DETERMINE IF THE CHANGE REQUIRES MODIFICATIONS TO EXISTING APPROVED PERMITS.
 - ALTERATION AND/OR DESTRUCTION OF WETLAND AREAS WITHOUT PRIOR CONSENT OF THE CONSERVATION COMMISSION IS PROHIBITED. SILTATION PLUMES, ILLICIT DISCHARGES, OR INADVERTANT ALTERATION SHALL BE CONSIDERED AS ACTIVITIES NOT PERMITTED BY THE ORDER AND SHALL BE REPORTED TO THE CONSERVATION COMMISSION ALONG WITH THE PROPOSED MITIGATIVE MEASURES.
 - PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE EROSION AND SEDIMENT CONTROL BARRIER SHALL BE INSTALLED AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL BARRIER UNTIL ALL WORK IS COMPLETE AND ALL AREAS HAVE BEEN STABILIZED. THE REMOVAL OF SEDIMENT CONTROL DEVICES SHALL BE ONLY UPON THE APPROVAL OF THE CONSERVATION COMMISSION.
 - EROSION AND SEDIMENTATION CONTROL DEVICES, SUCH AS CHECK DAMS, SEDIMENT BASINS, ETC. ARE TO BE INSTALLED AS SHOWN ON THE CONSTRUCTION PLANS WITH ASSOCIATED DETAILS, AS APPROPRIATE.
 - NO MATERIAL SUBJECT TO EROSION SHALL BE STOCKPILED OVERNIGHT WITHIN 100 FEET OF ANY WETLAND AREAS WITHOUT PROPER EROSION AND SEDIMENTATION DEVICES IN PLACE.
- EROSION CONTROL METHODS**
- IT IS OF GREAT IMPORTANCE THAT CONCENTRATION OF RUNOFF BE AVOIDED IN ORDER TO PREVENT THE TRANSPORT OF SEDIMENT.
 - THE PRIMARY EROSION CONTROL METHOD TO UTILIZED IS TO LIMIT THE AREA OF DISTURBANCE DURING CONSTRUCTION ACTIVITIES. THIS IS ACCOMPLISHED BY PROMPT STABILIZATION OF DISTURBED AREAS UPON COMPLETION OF SEQUENCES OF CONSTRUCTION.
 - EROSION OR SEDIMENT CONTROL DEVICES SUCH AS STRAW WATTLES, HAY BALES, SILT FENCE, DIVERSION BERMS, ETC. SHALL BE UTILIZED FOR PROTECTION OF THE AREAS BEYOND THE LIMIT OF CONSTRUCTION.
- ORDERLY CONSTRUCTION PROCEDURES**
- THE CONTRACTOR SHALL PERFORM SITE CONSTRUCTION IN A MANNER WHICH WILL INSURE THE STABILIZATION OF AREAS IN PROXIMITY OF OR TRIBUTARY TO WETLAND AREAS AS SOON AS POSSIBLE.
 - EROSION CONTROL DEVICES SUCH AS STRAW WATTLES, HAY BALE BARRIERS, SILT FENCE, AND MULCH SHALL BE BROUGHT TO THE SITE AND STOCKPILED PRIOR TO INITIATING CONSTRUCTION.
 - THE CONTRACTOR SHALL PROVIDE AREAS FOR THE TEMPORARY STORAGE OF CONSTRUCTION DEBRIS. CONSTRUCTION DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE FOR AN EXTENDED PERIOD OF TIME.
- LANDSCAPING**
- LANDSCAPING OF AREAS SHOULD OCCUR AS SOON AS POSSIBLE.
 - USE OF HERBICIDES IS PROHIBITED.
 - CARE SHOULD BE TAKEN WITH FERTILIZERS SUCH THAT THEY ARE NOT CARRIED TO A WETLAND OR SENSITIVE AREA.
 - TRUNKS OF TREES SHOULD NOT BE COVERED WITH MORE THAN TWO (2) INCHES OF SOIL. STUMPS SHALL BE GROUND INTO WOOD MULCH AND UTILIZED ON SITE.
- CREATION OF DETENTION BASIN**
- THE DETENTION BASIN HAS BEEN PLACED AS A SEPARATE ITEM TO EMPHASIZE THE IMPORTANCE OF EROSION CONTROL DURING ITS CONSTRUCTION.
 - THE PRIMARY EROSION CONTROL METHOD FOR BASIN CONSTRUCTION, AS WELL AS FOR THE SITE IS THE RAPID STABILIZATION OF ALL SURFACES. SECONDARY IN IMPORTANCE IS THE CONCENTRATION OF RUNOFF BE AVOIDED IN ORDER TO PREVENT THE TRANSPORT OF SEDIMENT.
 - THE BASIN BERM IS TO BE CONSTRUCTED BY EQUIPMENT WORKING ON STABLE MATERIAL ONLY. HAY BALES SHALL BE PLACED AT THE TOE OF SLOPE UNTIL SURFACES ARE STABILIZED.
 - NO EXCAVATION WITHIN THE BASIN SHALL COMMENCE UNTIL THE BERM IS IN PLACE.
 - CARE SHOULD BE TAKEN TO INSURE THAT ORGANIC MATERIAL REMOVED FROM THE BASIN AREA IS RESERVED FOR FINISH GRADING AND THE STABILIZATION OF DISTURBED AREAS.
 - THE WORK AREA SHALL REMAIN FREE OF LITTER AND DEBRIS AT ALL TIMES AND MONITORED DAILY.
 - A GEOTECHNICAL FILTER FABRIC SHALL BE PLACED OVER THE BASIN SUBDRAIN DURING CONSTRUCTION TO PREVENT SEDIMENT FROM ENTERING AND CLOGGING THE DRAIN. THE FABRIC SHALL BE REMOVED FOR BASIN PREPARATION FOR FINAL STABILIZATION.
- GRUBBING AND STRIPPING**
- TOP SOIL SHALL BE RETAINED FOR LANDSCAPING PURPOSES.
 - GRUBBING AND STRIPPING OF SLOPES SHOULD NOT BE UNDERTAKEN DURING PERIODS OF INTENSE RAINFALL.
 - WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED AND SUPPLEMENTED.
- ROUGH GRADING**
- THE ROUGH GRADING OF THE SITE SHALL BE MAINTAINED AWAY FROM WETLANDS AND SENSITIVE AREAS AS MUCH AS PRACTICAL.
 - DURING THIS PROCESS THE EROSION POTENTIAL IS HIGH. SUFFICIENT EROSION CONTROL BARRIERS SHOULD BE KEPT IN PROXIMITY TO THE WORK AREA TO ALLOW QUICK ACTION SHOULD EROSION BECOME AN ISSUE AND TO INSURE THAT NO SEDIMENT REACHES WETLANDS OR OTHER SENSITIVE AREAS.
 - IN AREAS OF CUT AND/OR FILL DIVERSION TRENCHES SHOULD BE CONSIDERED TO DIVERT WATER AWAY FROM WETLANDS.
 - DISTURBED AREAS SHALL BE STABILIZED BY LOAMING AND SEEDING IMMEDIATELY AFTER THE FINISH GRADE HAS BEEN MET.
 - A GROUND COVER SUFFICIENT TO RETAIN SOIL IN A STABILIZED CONDITION MUST BE PROVIDED WITHIN 14 DAYS.
- DRAINAGE**
- DRAINAGE PIPES ARE TO BE INSTALLED FROM THE DOWNSTREAM UP AND CONSTRUCTION SHALL INCLUDE THE PLACEMENT OF OUTFALL RIPRAP AND OTHER MITIGATIVE MEASURES SHOWN ON THE PLAN.
 - PRIOR TO COMMENCEMENT OF CONSTRUCTION, HAYBALES OR OTHER SUITABLE METHODS TO ENTRAP SEDIMENT SHALL BE PLACED DOWNSTREAM.
- CLEARING**
- LAND CLEARING SHALL BE PERFORMED IN PHASES CONSISTENT WITH ACTUAL CONSTRUCTION REQUIREMENTS. FINAL LAND CLEARING SHALL BE LIMITED TO RETURN TO GRADE SLOPES.
 - TREES SHALL BE CUT AND STUMPS GROUND IN PLACE TO EXISTING GRADE TO MAINTAIN SOIL STABILIZATION.
 - BRUSH AND BRANCHES SHOULD BE CHIPPED AND UTILIZED FOR WOOD MULCH IF PRACTICAL.



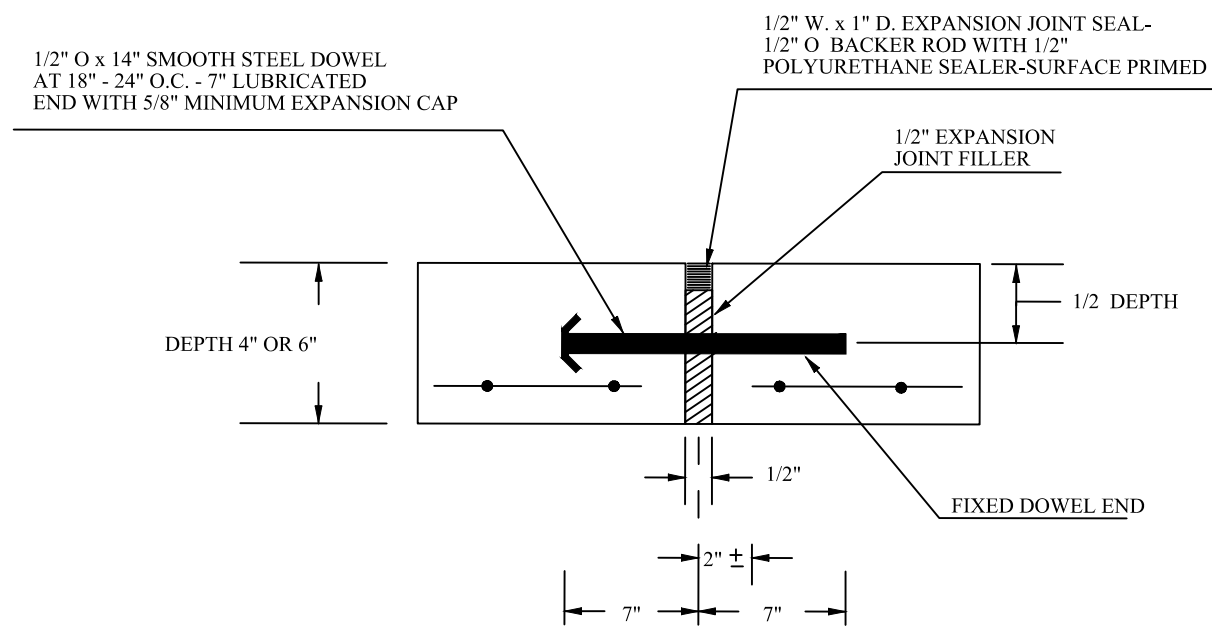
Project:
TEMPEST INC.
RMRE SITE PLAN
420 STATE ROUTE 2A
PHILLIPSTON, MA

STODDARD ENGINEERING
1865 OLD KEENE ROAD
ATHOL, MASSACHUSETTS 01531
978-7909731

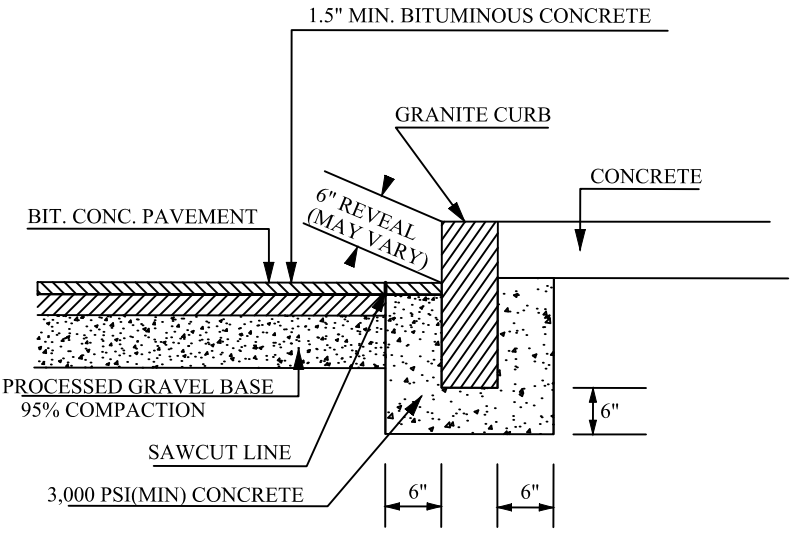
Rev. No.	Date	By	Checked

Drawing:
CONSTRUCTION
DETAILS

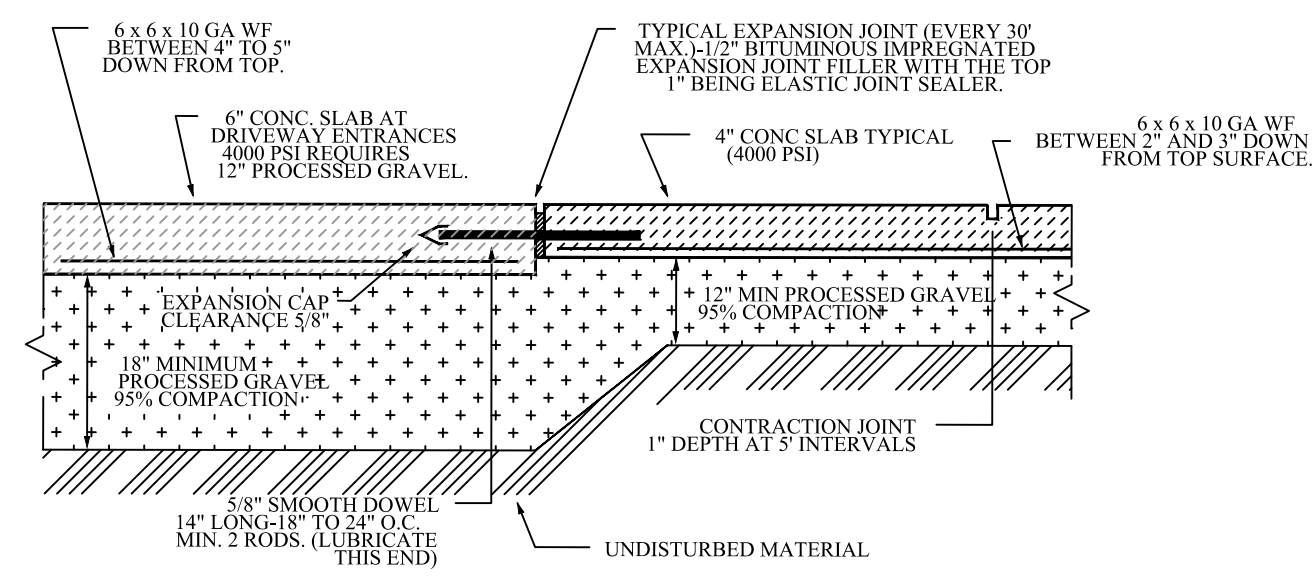
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CJS	CJS	---
Date	Sheet	Scale
6/22/2020	8	



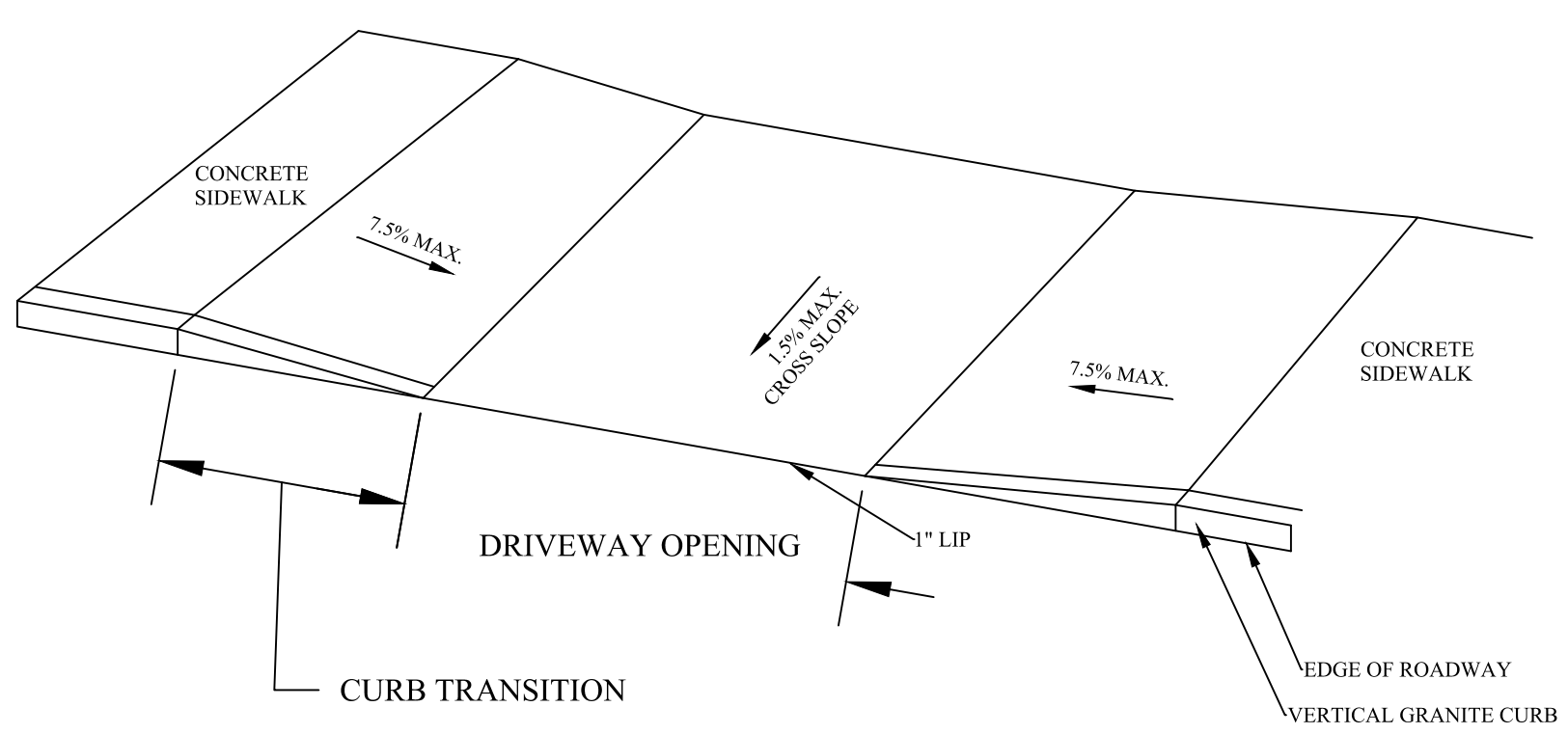
SIDEWALK EXPANSION JOINT
AT 30' INTERVALS
N.T.S.



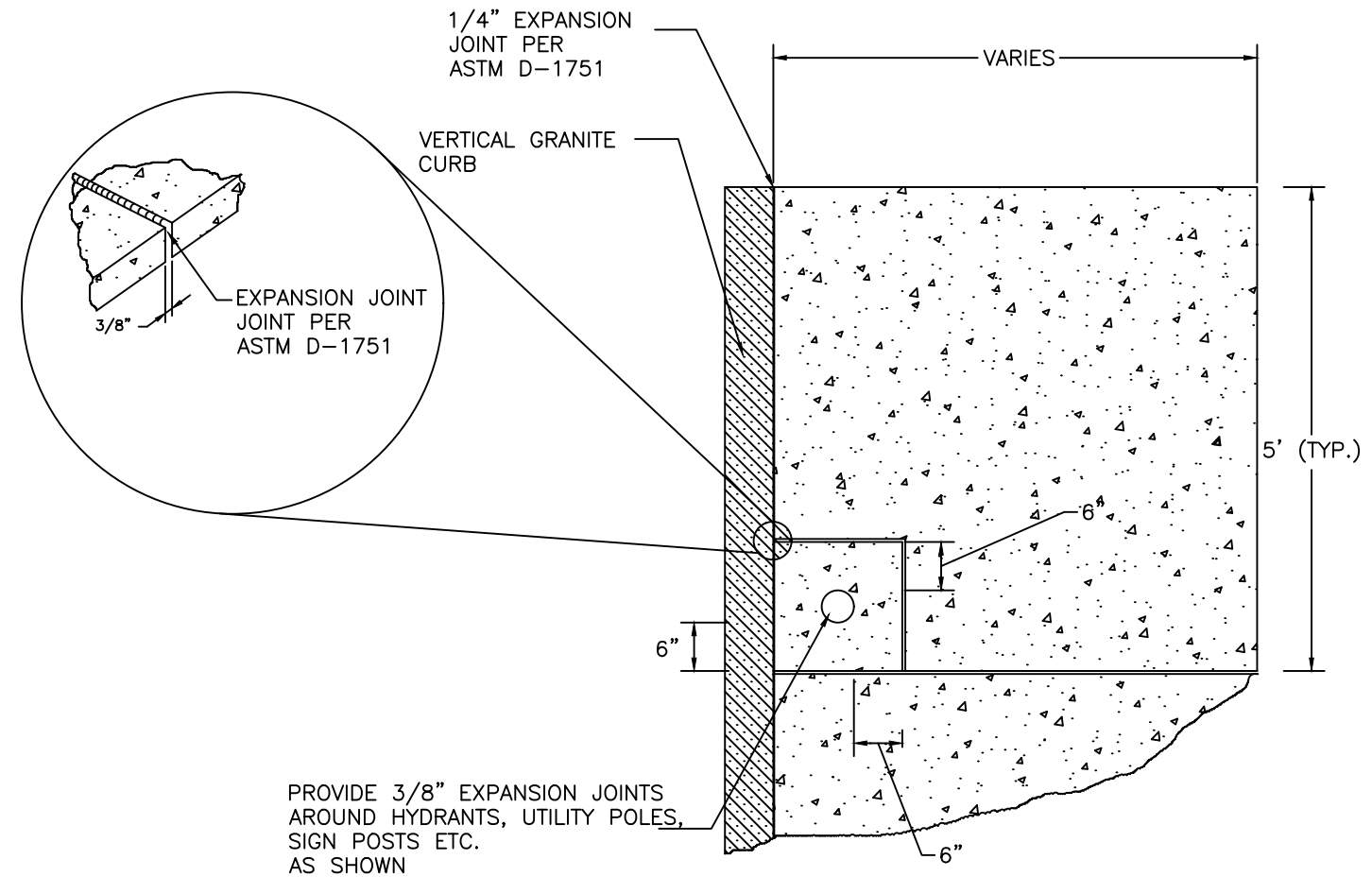
GRANITE & CONCRETE DETAIL NEW
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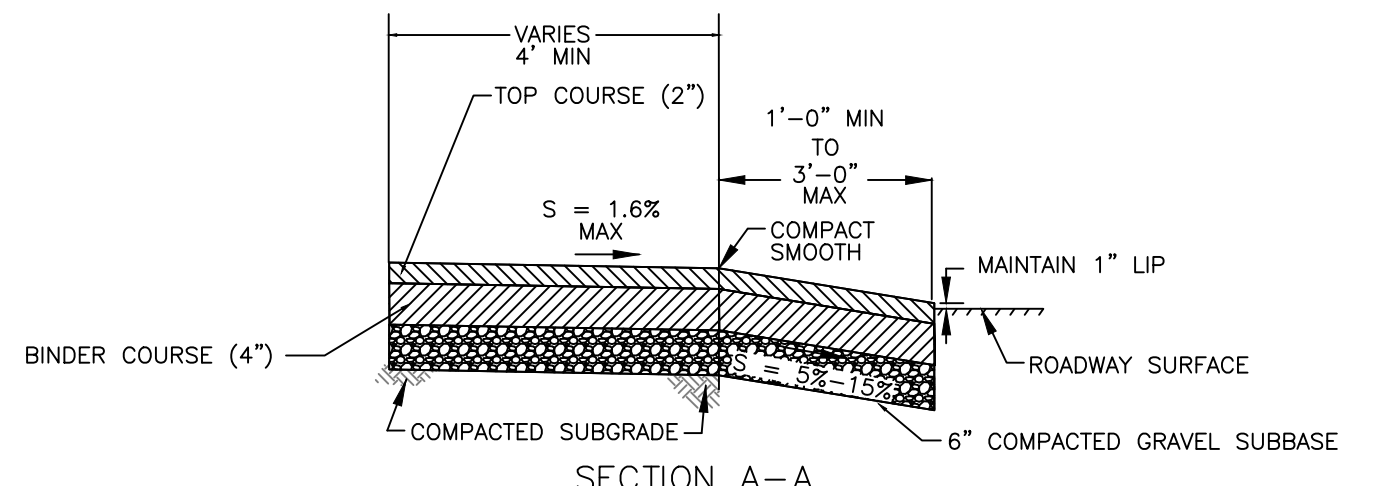
TYPICAL SIDEWALK DETAIL
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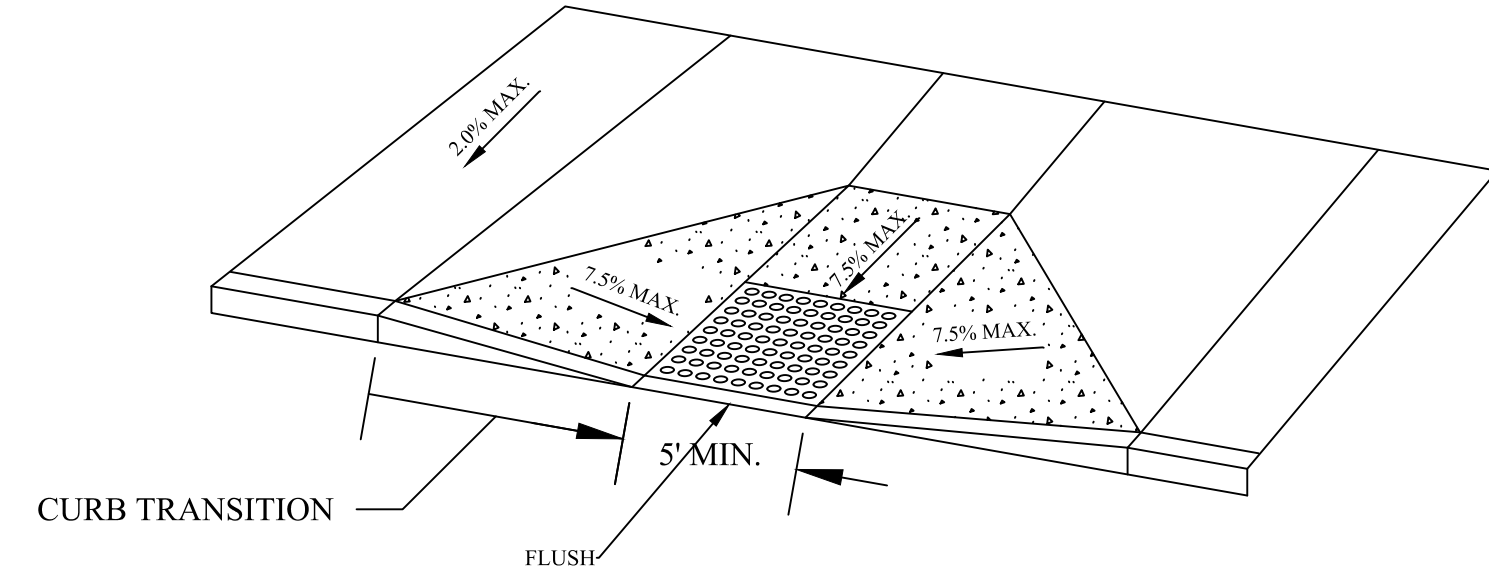
TYPICAL DRIVEWAY WITH SIDEWALK DETAIL
N.T.S.



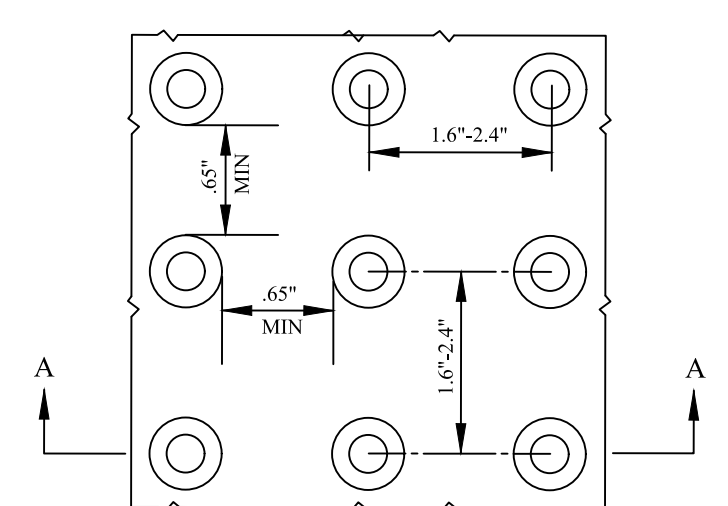
TYPICAL SIDEWALK EXPANSION JOINT



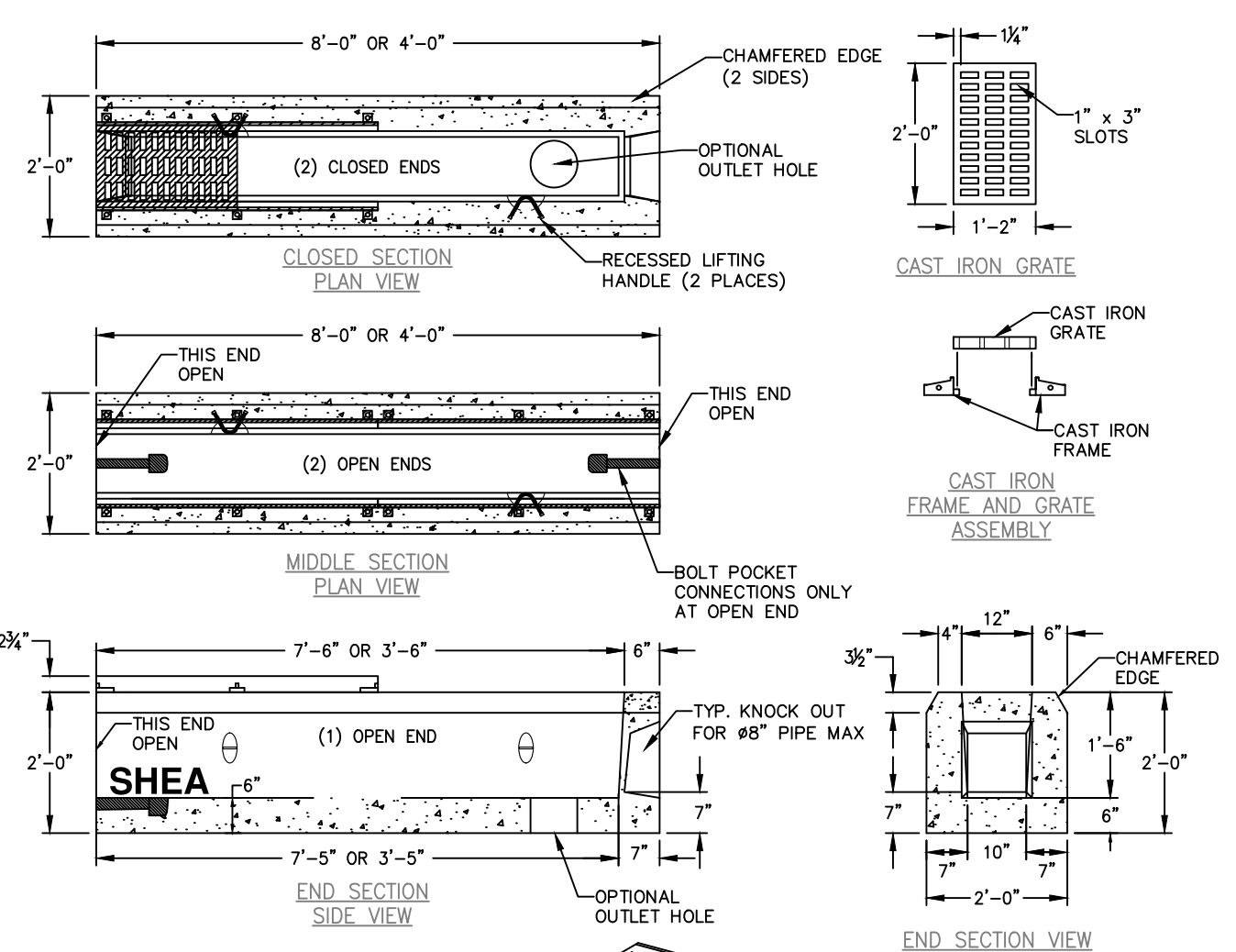
TYPICAL DRIVEWAY CUT



TYPICAL ACCESSIBLE CURB RAMP
N.T.S.



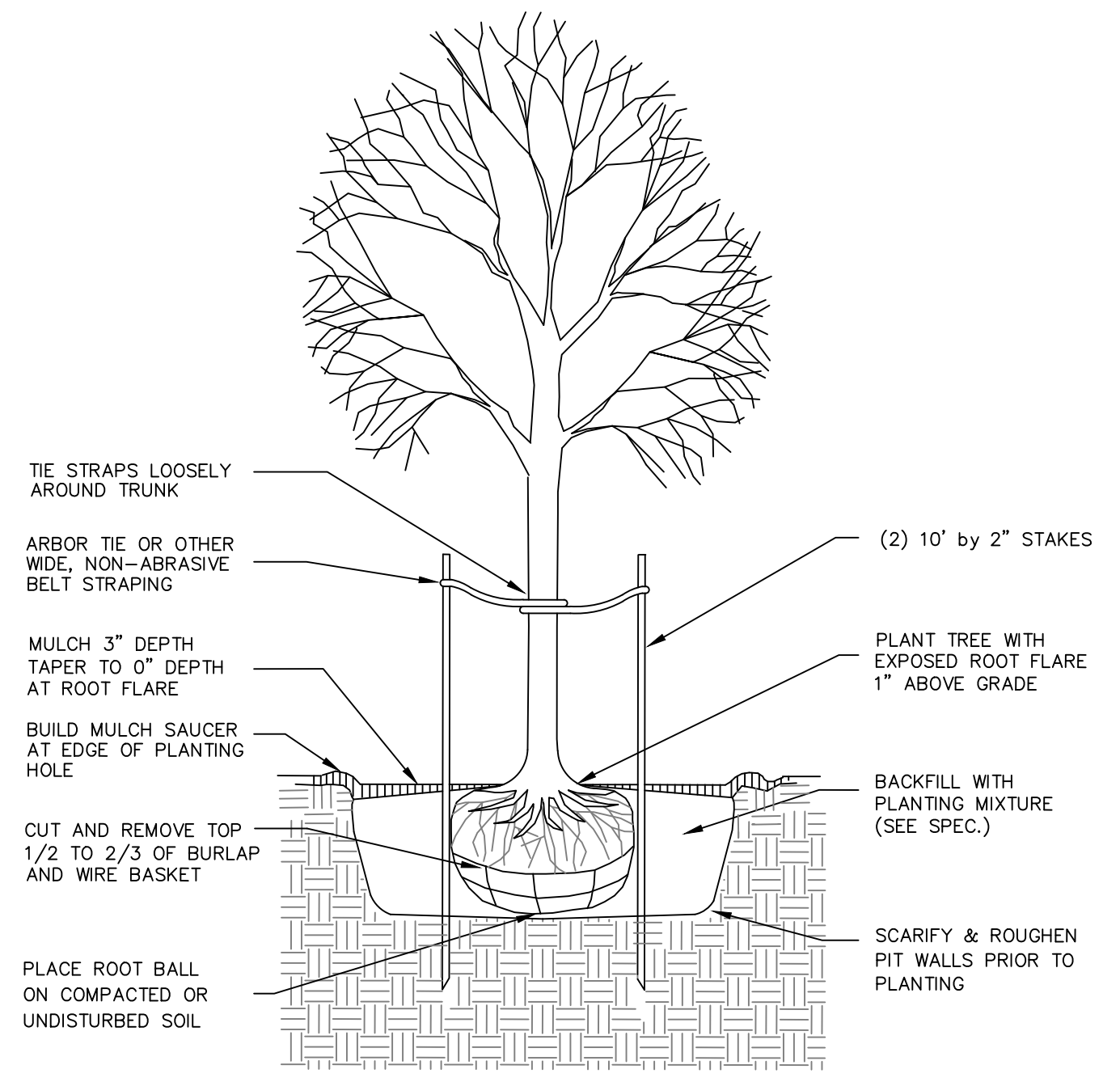
DETECTABLE WARNING PANEL
N.T.S.



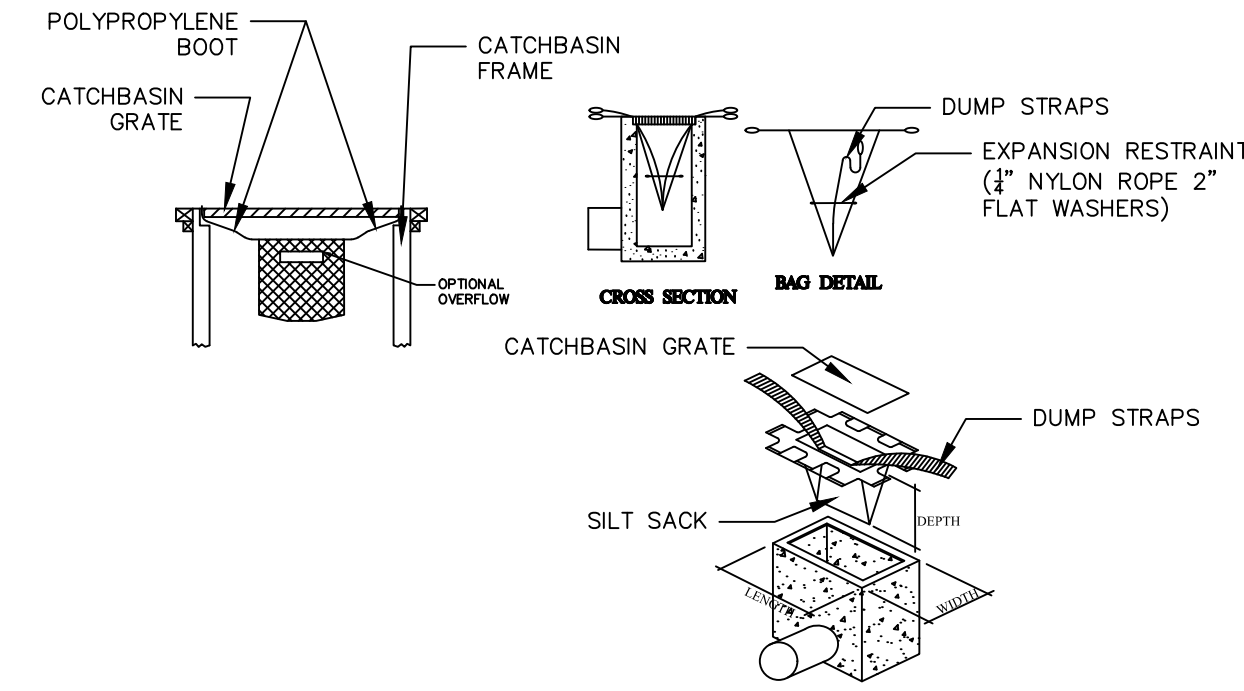
12" x 18" TRENCH DRAIN

ITEM CODE	SECTION TYPE	WEIGHT
10-B	CLOSED	3.075
10-C	W/GRATE	3.065
10-D	END	3.335
10-E	W/GRATE	3.325
10-F	CLOSED	1.975
10-G	W/GRATE	1.965
10-H	END	1.955

TYPICAL TRENCH DRAIN



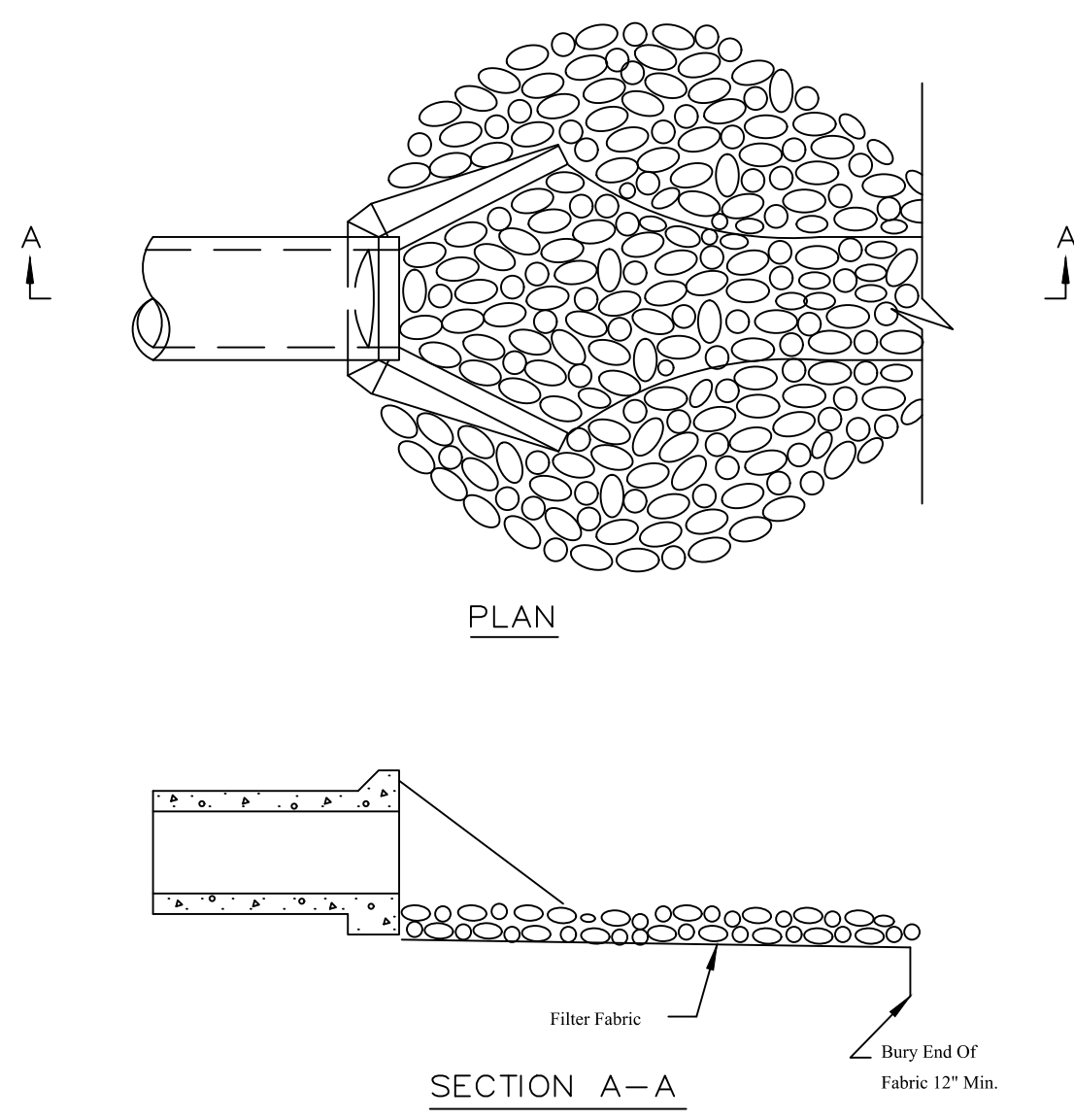
DECIDUOUS TREE PLANTING DETAIL



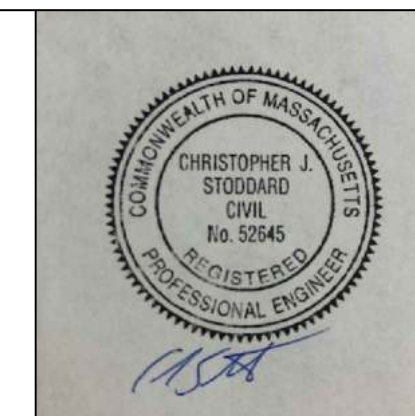
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS SHEET, OVERLAND AND CONCENTRATED FLOWS (NOT GREATER THAN 1 CFS). THE METHOD CAN DRAIN FLAT AREA TO STEEP SLOPES. INLET CAPACITY WILL DECREASE WITH THIS METHOD AND CONTRACTOR SHALL EXPECT FLOODING TO OCCUR DURING HIGH FLOW EVENTS.

MAINTENANCE SHALL OCCUR WHEN NECESSARY. SILT SACKS SHALL BE CLEANED ONCE THE BAG IS FILLED HALF WAY WITH DEBRIS. CONTRACTOR SHALL REMOVE SILT SACK AND PLACE NEW UNIT. DO NOT EMPTY SILT SACK CONTENTS INTO THE CATCHBASIN.

CATCH BASIN W/ SILT SACK INLET PROTECTION



PIPE END RIP RAP



Project:

TEMPEST INC.
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Rev No	Revision Note	Date	By	Checked

Drawing:
CONSTRUCTION
DETAILS-2

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CJS	CJS	---
Date	Sheet	Scale
6/22/2020	9	